

I HEREBY CERTIFY THAT THIS
PLAN, SPECIFICATION, OR
REPORT WAS PREPARED BY ME
OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A
DULY LICENSED ARCHITECT
UNDER THE LAWS OF THE STATE
OF MINNESOTA.

NUMBER	DATE
	07-30-2016

**Hawkins Ash Office -
Think Plaza Development**

Rochester, Minnesota

[illegible]

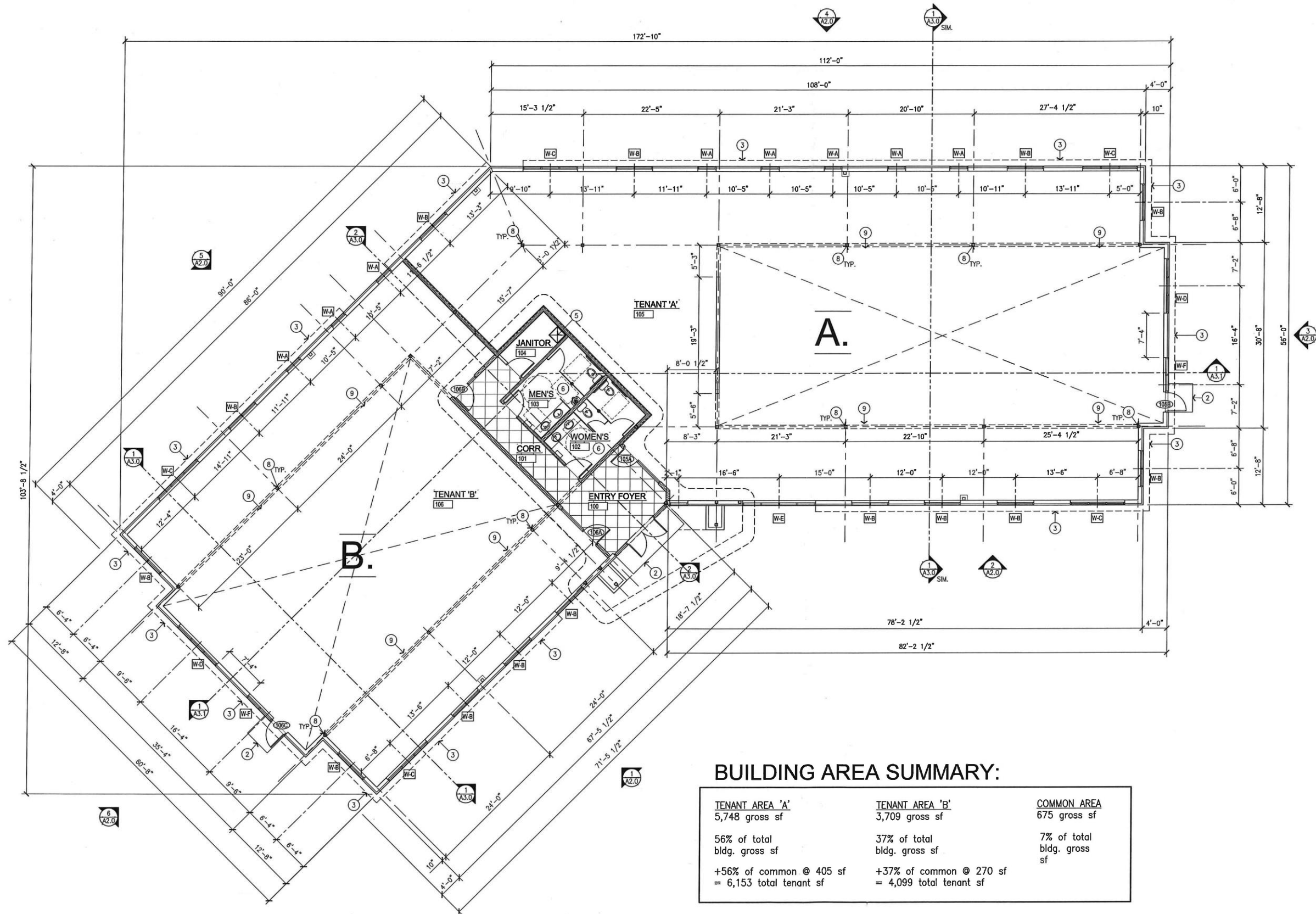
FLOOR PLAN

SHEET NUMBER

A1.0

OF SHEETS

- 1 FIRE DEPARTMENT KEY BOX LOCATION
- 2 CONC. STOOPT WITH FROST FOOTING, SEE STRUCT. FOR MORE INFORMATION
- 3 LINE OF ROOF/EYEBROW/CANOPY ABOVE
- 4 4'-0"x6'-0" IN-TILE RECESSED FLOOR MAT
- 5 POP SINK (SEE MECH.) WITH 48" HIGH FRP ON ADJACENT WALLS 48" MIN. FROM CORNER, AND MOP HOOKS ABOVE.
- 6 REFER TO DETAILS 3,4,5,8/A0.2 FOR REQUIRED ADA RESTROOM DIMENSIONS AND CLEARANCES
- 7 CLOSET ROD AND SHELF, SEE 16/A0.2
- 8 STEEL COLUMN - SEE STRUCT.
- 9 LINE OF GYP. BD. BULKHEAD/ SOFFIT ABOVE



ACTUAL BUILDING FOOTPRINT = 10,133.0 gross sf
BUILDING FLOOR PLAN
 ORIGINAL SCALE: 1/8" = 1'-0"

BUILDING AREA SUMMARY:

<u>TENANT AREA 'A'</u>	<u>TENANT AREA 'B'</u>	<u>COMMON AREA</u>
5,748 gross sf	3,709 gross sf	675 gross sf
56% of total bldg. gross sf	37% of total bldg. gross sf	7% of total bldg. gross sf
+56% of common @ 405 sf = 6,153 total tenant sf	+37% of common @ 270 sf = 4,099 total tenant sf	

Rochester-Olmsted Planning Department
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OF _____ SHEETS

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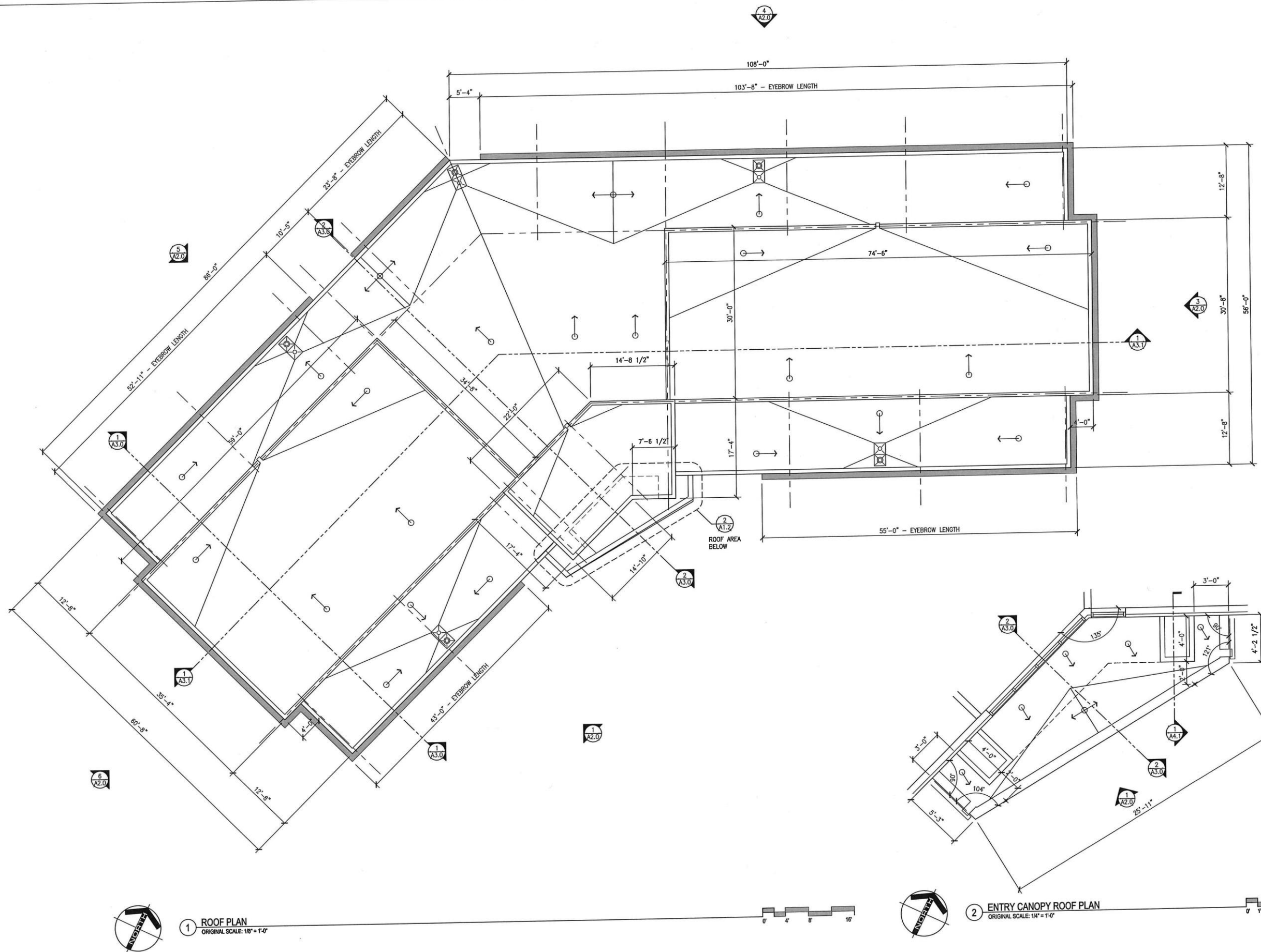
[illegible]

ROOF PLAN

SHEET NUMBER

A1.2

OF SHEET

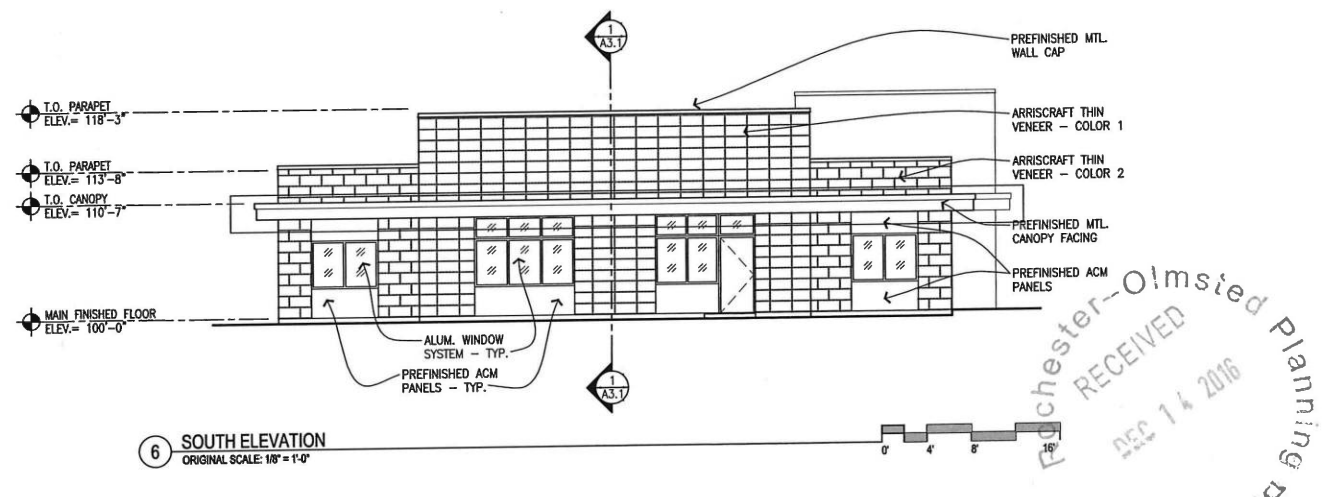
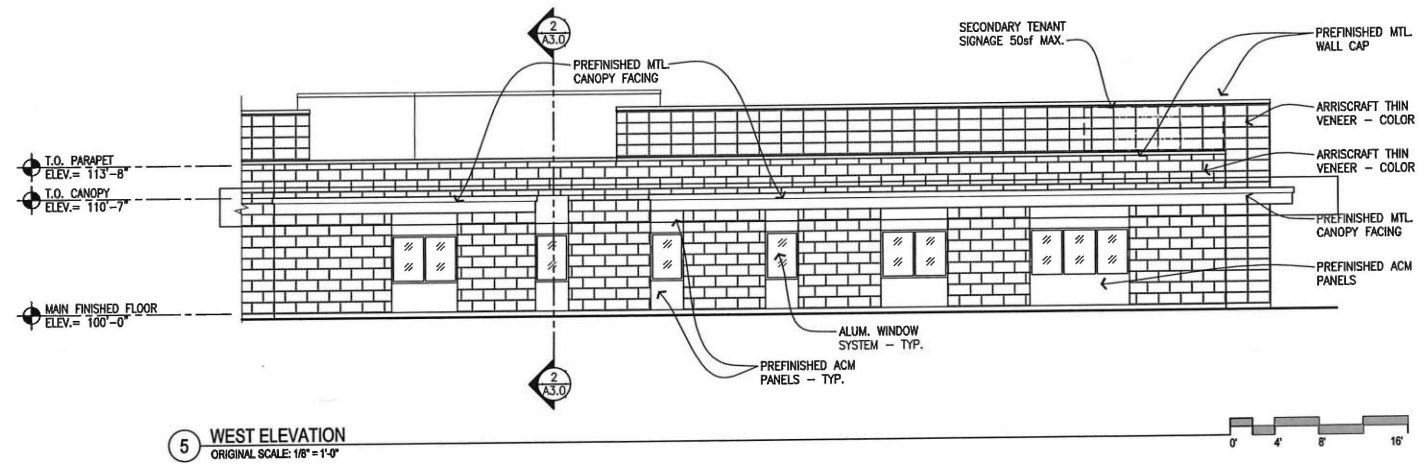
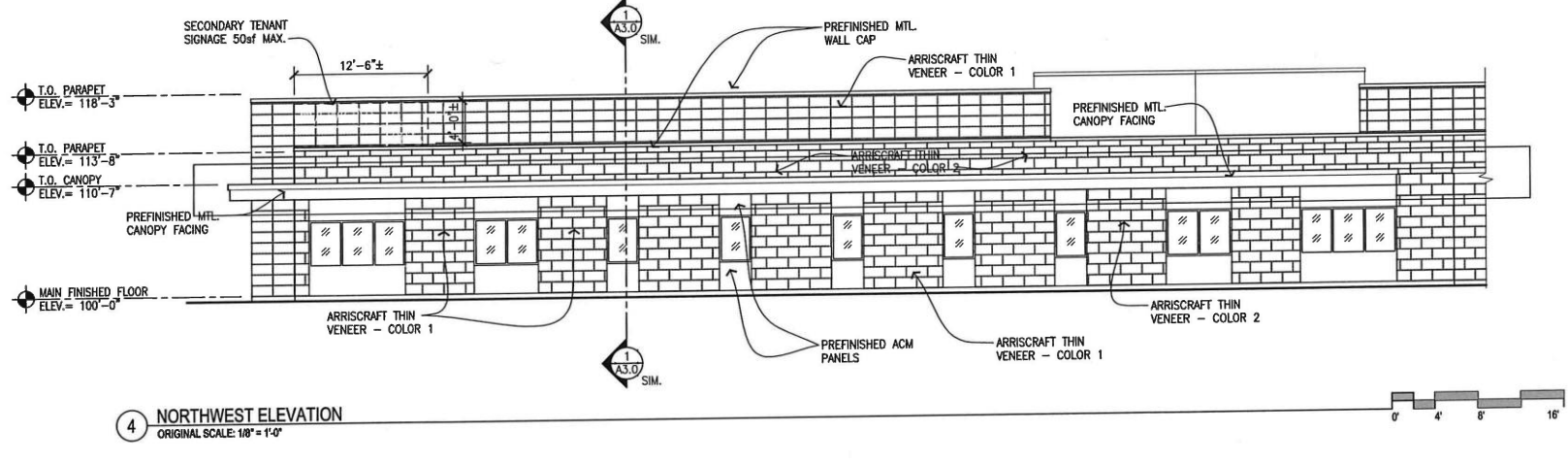
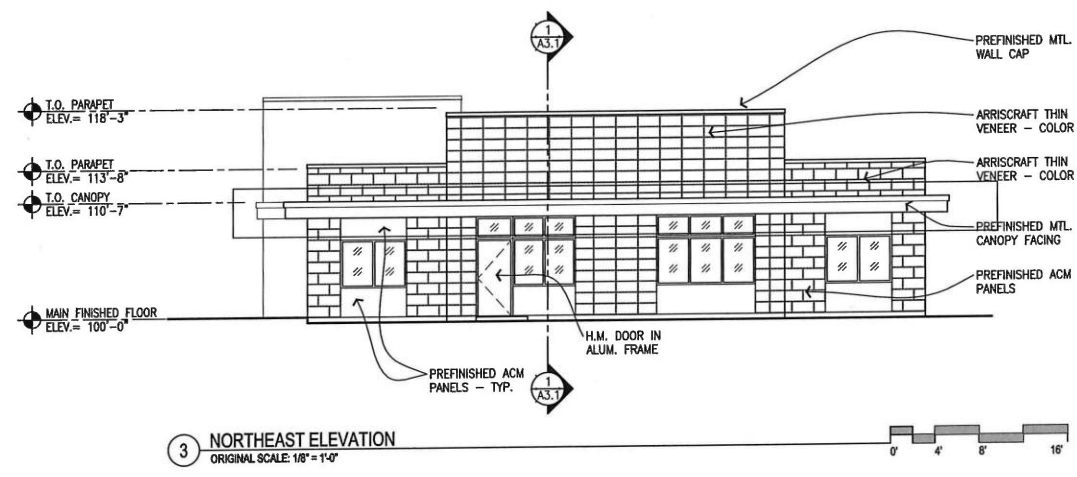
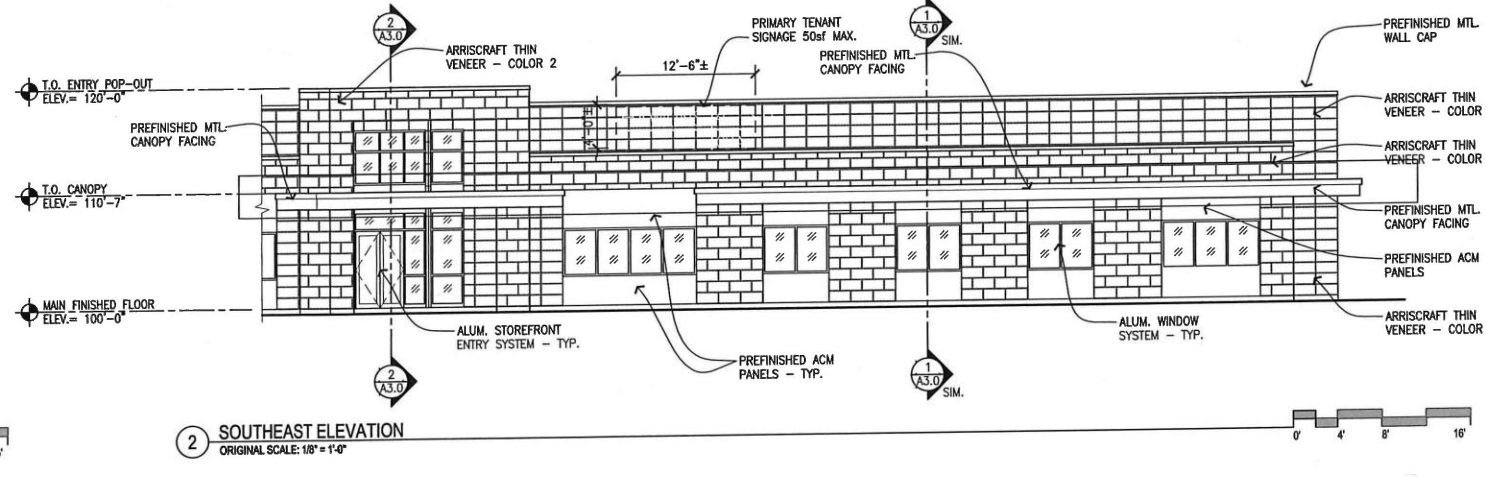
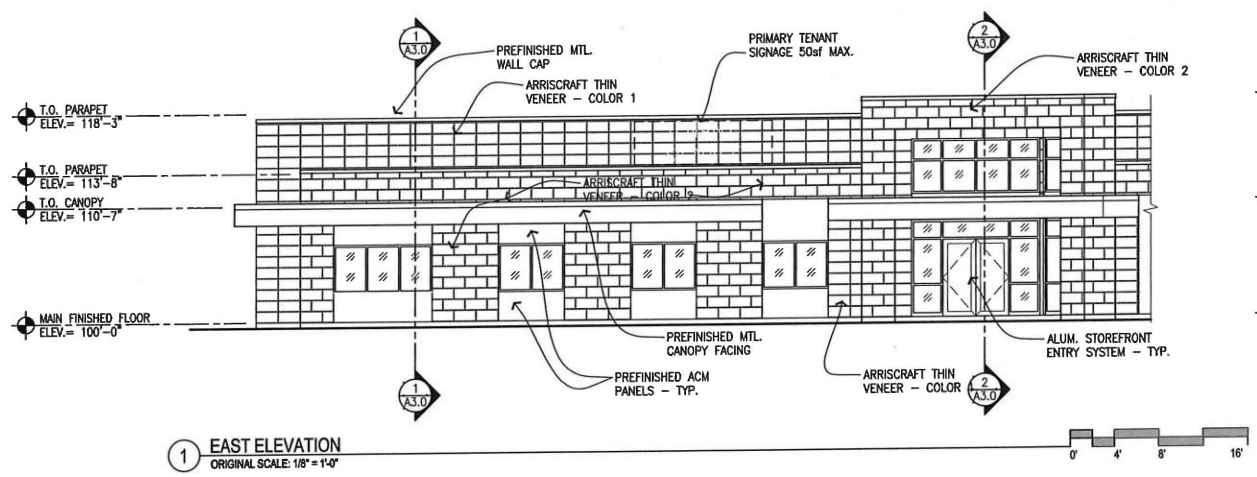


1 ROOF PLAN
ORIGINAL SCALE: 1/8" = 1'-0"

2 ENTRY CANOPY ROOF PLAN
ORIGINAL SCALE: 1/4" = 1'-0"

Contains: Xref: \\Vista\16-037 Xref exterior elevations
Contains: Xref: P:\2016\16-037 Think Plaza Rock S&A\CAD\Drawing Sheets\16-037 Xref Floorplan
Contains: Xref: P:\2016\16-037 Think Plaza Rock S&A\CAD\Drawing Sheets\16-037 Xref Floorplan
Contains: Xref: P:\2016\16-037 Think Plaza Rock S&A\CAD\Drawing Sheets\16-037 Xref Floorplan

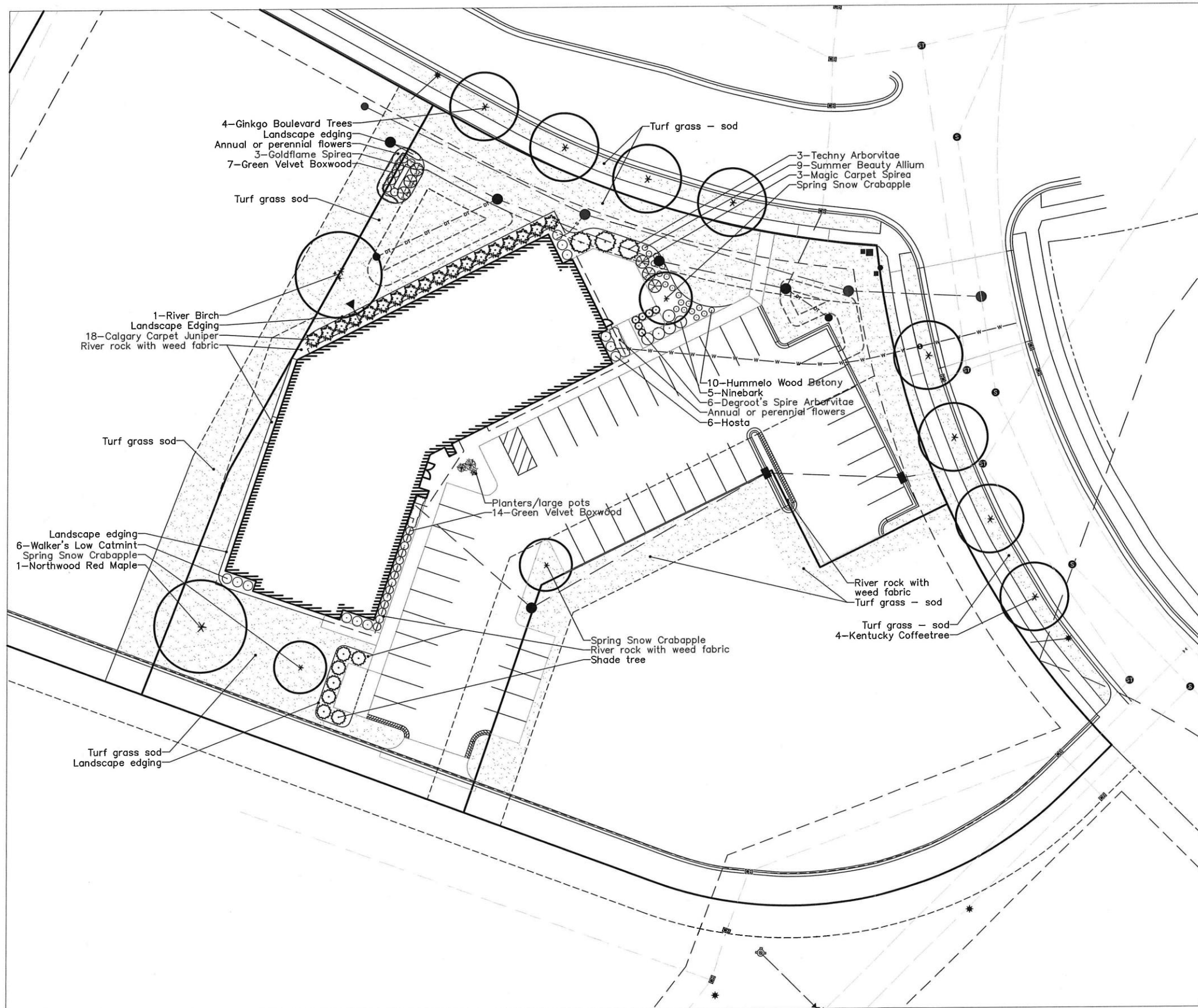
Wade Goodenberger P:\2016\16-037 Hawkins Ash Office Building\CAD\Drawing Sheets\A2.0 EXTERIOR ELEVATIONS Friday, December 02, 2016 1:28:40 PM



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Hawkins Ash Office -
Think Plaza Development
Rochester, Minnesota

PROJECT NUMBER	16-037
DATE	07-30-2016
DRAWN BY	SWD
CHECKED BY	
ISSUE / REVISION HISTORY	



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0 10 20 40 60



Landscape Nursery
www.sargentsgardens.com
7955 18th Ave. N.W. Rochester, MN 55901
P (507) 289-0022 F (507) 289-7045

Hawkins Ash Office - Think Plaza Development

Landscape Plan

Date: 12.9.16
Revised:

Designer: JDF
Scale: 1" = 20'



1. PROPERTY LINES AS SHOWN IN THIS PLAN ARE SUBJECT TO THE APPROVAL OF THE FINAL PLAT FOR THE PROPERTY.
2. SEE THE LANDSCAPE PLAN FOR INFORMATION AND DETAILS PERTAINING TO BOULEVARD TREES AND OTHER SPECIFIC LANDSCAPING ITEMS.

1. THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY LEVEL D, AS DETERMINED ACCORDING TO THE GUIDELINES OF C/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."
2. UTILITIES SHOWN ARE AT APPROXIMATE LOCATIONS. THERE MAY BE ADDITIONAL UNDERGROUND AND OVERHEAD UTILITIES NOT SHOWN ON THE PLAN. CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION. CALL GOPHER STATE ONE CALL FOR UTILITY, GAS LINE, AND ELECTRICAL LINE LOCATIONS PRIOR TO CONSTRUCTION.

1. SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.00%.
2. DIMENSIONS SHOWN ARE TO THE GUTTER, EDGE OF CONCRETE, AND EDGE OF ASPHALT.

SITE LOCATION: LOT 2, BLOCK 2, THINK PLAZA (EXISTING PLAT)
LOT 2, BLOCK 1, THINK PLAZA REPLAT (PROPOSED PLAT)
ROCHESTER, MN

ARCHITECT: CRW ARCHITECTURE + DESIGN GROUP
211 ELEVENTH AVENUE NW
ROCHESTER, MN 55901
CONTACT: WADE GOODENBERGER
PHONE: (507) 206-6201
EMAIL: WGOODENBERGER@
CRWARCHITECTURE.COM

GOVERNING SPECIFICATIONS
CITY OF ROCHESTER STANDARD
SPECIFICATIONS FOR STREET AND
UTILITY CONSTRUCTION

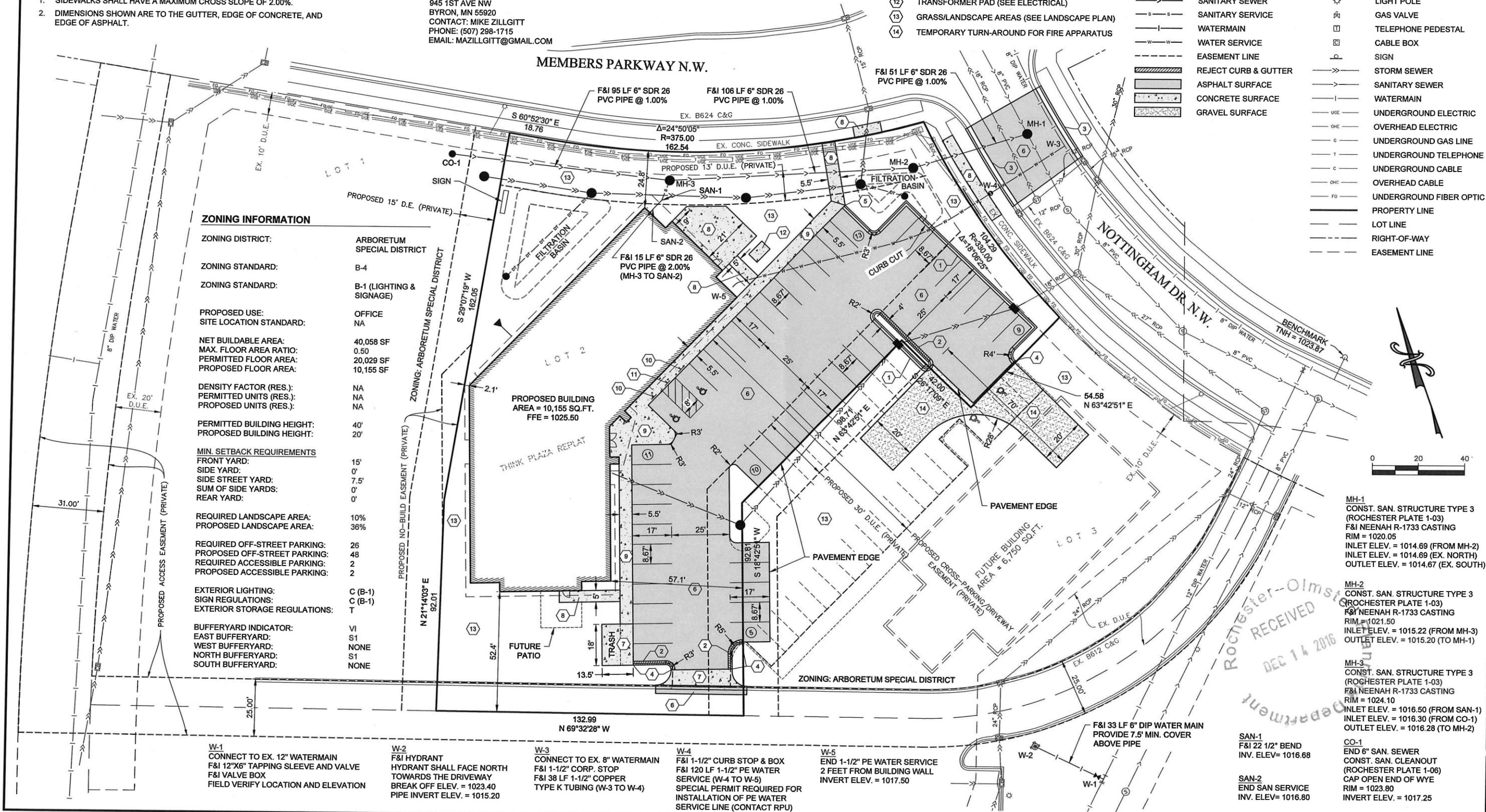
BENCHMARK
TOP NUT HYDRANT
 200' SOUTH OF MEMBERS PARKWAY N.W.
 ON EAST SIDE OF NOTTINGHAM DR. N.W.
 ELEVATION = 1023.87

KEYNOTES BELOW ARE ALSO LABELED ON
CORRESPONDING DETAILS IN THE DETAIL SHEETS.

- 1 B612 CONCRETE CURB & GUTTER
- 2 B612 (REJECT) CONCRETE CURB & GUTTER
- 3 REMOVE AND REPLACE CURB & GUTTER IN KIND
- 4 B612 CURB TERMINATION (TAPER TO 0" HEIGHT)
- 5 B612 CURB TERMINATION (FULL HEIGHT)
- 6 ASPHALT PAVEMENT
- 7 7" CONCRETE PAVEMENT
- 8 4" CONCRETE SIDEWALK
- 9 4" THICKENED EDGE CONCRETE SIDEWALK
- 10 ACCESSIBLE PARKING SIGN WITH BOLLARD
- 11 NO PARKING SIGN WITH BOLLARD
- 12 TRANSFORMER PAD (SEE ELECTRICAL)
- 13 GRASS/LANDSCAPE AREAS (SEE LANDSCAPE PLAN)
- 14 TEMPORARY TURN-AROUND FOR FIRE APPARATUS

	STORM STRUCTURE
	CATCH BASIN
	APRON
	SANITARY STRUCTURE
	WATER HYDRANT
	WATER VALVE
	WATER CURB STOP
	WATER TEE OR SLEEVE
	ACCESSIBLE PARKING
	PARKING SPACE COUNT
	PIPE BOLLARD
	STORM SEWER
	DRAIN TILE
	SANITARY SEWER
	SANITARY SERVICE
	WATERMAIN
	WATER SERVICE
	EASEMENT LINE
	REJECT CURB & GUTTER
	ASPHALT SURFACE
	CONCRETE SURFACE
	GRAVEL SURFACE

	STORM MANHOLE
	AREA CATCH BASIN
	CURB INLET CATCH BASIN
	APRON
	SANITARY MANHOLE
	WATER HYDRANT
	WATER VALVE
	WATER CURB STOP
	ELECTRIC TRANSFORMER
	ELECTRIC MANHOLE
	ELECTRIC BOX
	POWER POLE
	GUY ANCHOR
	LIGHT POLE
	GAS VALVE
	TELEPHONE PEDESTAL
	CABLE BOX
	SIGN
	STORM SEWER
	SANITARY SEWER
	WATERMAIN
	UNDERGROUND ELECTRIC
	OVERHEAD ELECTRIC
	UNDERGROUND GAS LINE
	UNDERGROUND TELEPHONE
	UNDERGROUND CABLE
	OVERHEAD CABLE
	UNDERGROUND FIBER OPTIC
	PROPERTY LINE
	LOT LINE
	RIGHT-OF-WAY
	EASEMENT LINE



HAWKINS ASH OFFICE - THINK PLAZA DEVELOPMENT PLAZA NORTHWEST ONE LLC ROCHESTER, MN	DRAWN: MAZ CHECKED: MAZ SCALE: AS SHOWN DATE: 12/12/16	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR STATEMENT OF WORKS WAS PREPARED BY ME OR UNDER SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.	NO. 	DATE 	REVISION DESCRIPTION 	BT
SHEET NO. C1.0	SITE & UTILITY PLAN					
PROJECT NO. MISOIB MICHAEL A. ZILLGHT UC. NO. 50431 DATE: 12/13/16 						

CONSTRUCTION & GRADING NOTES

- PROPOSED SPOT ELEVATIONS SHOWN IN PLAN ARE TO TOP OF PAVING, GUTTER FLOWLINE OR FINISHED GRADE UNLESS OTHERWISE NOTED.
- THE OWNER IS AWARE THAT SOME GRADES ON THE SITE ARE LESS THAN 2.00%. LOCALIZED PONDING MAY OCCUR AND THEY ACCEPT ALL IMPACT.
- THE SITE HAS NOT NECESSARILY BEEN DESIGNED TO BALANCE ON-SITE MATERIALS. EXCESS MATERIAL, IF ANY, SHALL BE DISPOSED OF OFF-SITE, AND SUITABLE MATERIAL SHALL BE IMPORTED AS NEEDED.

EROSION & SEDIMENT CONTROL NOTES

- OWNER SHALL APPLY FOR AN NPDES PERMIT IF DISTURBED AREA EXCEEDS 1 ACRE. AN NPDES PERMIT WILL BE REQUIRED FOR THIS PROJECT. EROSION AND SEDIMENT CONTROL BMP'S SHALL BE IN CONFORMANCE WITH THIS PLAN AND THE SWPPP PREPARED FOR THE PROJECT.
- ALL DOWN-GRADIENT SEDIMENT CONTROL AND INLET PROTECTION BMP'S SHALL BE ESTABLISHED PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBING OPERATIONS. BMP'S SHALL REMAIN IN PLACE UNTIL ALL UP-GRADIENT AREAS ARE STABILIZED.
- ALL DISTURBED SOIL AREAS ON SITE INCLUDING STOCKPILES SHALL BE STABILIZED NO LATER THAN 14 DAYS AFTER CONSTRUCTION ACTIVITY IN THAT AREA HAS CEASED.
- TEMPORARY STABILIZATION SHALL CONSIST OF THE FOLLOWING:
 - MNDOT SEED MIX 21-111 APPLIED AT A RATE OF 100 LBS/ACRE.
 - MNDOT TYPE 1 MULCH MATERIAL APPLIED AT A RATE OF 2 TONS PER ACRE AND DISC ANCHORED INTO PLACE.
- PERMANENT TURF ESTABLISHMENT SHALL CONSIST OF THE FOLLOWING:
 - GENERAL: 4" MIN. TOPSOIL, MNDOT SEED MIX 25-131 APPLIED AT 220 LBS/ACRE, AND MNDOT FERTILIZER TYPE 3 APPLIED AT 350 LBS/ACRE.
 - FILTRATION BASINS: SOIL AS SPECIFIED IN DETAIL AND MNDOT SEED MIX 33-261 APPLIED AT 35 LBS/ACRE.
 - MNDOT TYPE 1 MULCH MATERIAL APPLIED AT A RATE OF 2 TONS PER ACRE AND DISC ANCHORED INTO PLACE.
 - MNDOT CATEGORY 3 EROSION CONTROL BLANKET WHERE SHOWN IN PLAN.
- THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE THAT DRAINS WATER FROM ANY PORTION OF THE CONSTRUCTION SITE, OR DIVERTS WATER AROUND THE SITE, MUST BE STABILIZED WITHIN 200 LINEAL FEET FROM THE PROPERTY EDGE, OR FROM THE POINT OF DISCHARGE INTO ANY SURFACE WATER WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER.
- PIPE OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER OR OUTLET.
- CONTRACTOR SHALL ENSURE THAT SEDIMENT DOES NOT LEAVE THIS SITE. ANY TRACKING OF SEDIMENT OR DEBRIS FROM CONSTRUCTION TRAFFIC ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED BY THE END OF EACH WORK DAY.
- EFFECTIVE CONTAINMENT SHALL BE PROVIDED, PER THE REQUIREMENTS IN THE NPDES CONSTRUCTION STORMWATER PERMIT, FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS RELATED TO CONSTRUCTION ACTIVITY. SUCH WASTES INCLUDE CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS.

WATERS WITHIN 1 MILE RECEIVING RUNOFF FROM THE SITE			
WATER BODY	TYPE	SPECIAL WATER?	IMPAIRED WATER?
NA	NA	NA	NA

BMP SCHEDULE			
BMP DESCRIPTION	UNIT	QUANTITY	DETAIL OR STANDARD PLATE
SILT FENCE	LF	451	CITY OF ROCHESTER, PLATE 7-01
INLET PROTECTION	EACH	8	CITY OF ROCHESTER, PLATE 7-05
TEMP. ROCK CONST. ENTRANCE	EACH	1	CITY OF ROCHESTER, PLATE 7-06
CONCRETE WASHOUT	EACH	1	
EROSION CTRL. BLANKET CAT. 3	SY	585	

UTILITY NOTES

- THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY LEVEL D, AS DETERMINED ACCORDING TO THE GUIDELINES OF C/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."
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- CONSTRUCTION AND INSTALLATION OF STORM SEWER, SANITARY SEWER, WATER MAIN, AND SERVICE CONNECTIONS SHALL CONFORM TO THE CITY OF ROCHESTER STANDARD SPECIFICATIONS AND DETAIL PLATES.

HARD SURFACING NOTES

- PROVIDE A 2 FOOT TAPER SECTION ON ALL CURB TERMINI UNLESS OTHERWISE NOTED.
- MAXIMUM CROSS SLOPE OF ALL SIDEWALKS SHALL BE NO GREATER THAN 2.0%.

REMOVAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR SITE CLEARING, GRUBBING AND REMOVALS.
- SAWCUT EXISTING CONCRETE AND BITUMINOUS PAVEMENTS AT REMOVAL LIMITS SHOWN IN THE PLANS. SAWCUT SIDEWALK AND CURB & GUTTER AT JOINT NEAREST REMOVAL LIMITS. SAWCUT SHALL BE PROVIDED WITHIN 24 HOURS OF CONSTRUCTING NEW BITUMINOUS OR CONCRETE PAVEMENT.

STORM SEWER NOTES

- STORM SEWER AND CULVERT PIPE LENGTHS LISTED IN THE PLAN INCLUDE APRONS.

EARTHWORK VOLUMES

RAW CUT: 1,119 CU. YDS.
RAW FILL: 273 CU. YDS.

RAW CUT/FILL VOLUMES ARE OBTAINED FROM AN EXISTING GRADE TO FINISH GRADE COMPARISON AND DO NOT ACCOUNT FOR VOLUMES OF IMPORTED AGGREGATE, BITUMINOUS, CONCRETE, OR BUILDING FOOTING/FOUNDATION WALLS.

PROJECT AREAS

PROPERTY AREA: 0.984 ACRES
DISTURBED AREA: 1.350 ACRES
EXISTING IMPERVIOUS AREA: 0.043 ACRES
EXISTING PERVIOUS AREA: 1.307 ACRES
PROPOSED IMPERVIOUS AREA: 0.664 ACRES
PROPOSED PERVIOUS AREA: 0.686 ACRES
IMPERVIOUS AREA INCREASE: 0.621 ACRES

EXCB-1
CONNECT TO EXIST. STRUCTURE
RIM = 1020.60 (EXIST.)
INLET ELEV. = 1018.20 (FROM CB-4)
OUTLET ELEV. = 1017.57 (EXIST.)

CB-4
CONST. STRUCTURE DESIGN G
(MNDOT PLATE 4006L - DESIGN G)
F&I NEENAH R-4342 CASTING
RIM = 1021.10
SUMP = 1017.10
INLET ELEV. = 1018.38 (FROM MH-1)
INLET ELEV. = 1018.42 (FROM STCO-1)
OUTLET ELEV. = 1018.36 (TO EXCB-1)

STCO-1
CONST. UNDERDRAIN CLEANOUT
(SEE DETAILS SHEET)
F&I NEENAH R-1976 CASTING
RIM = 1021.40
INVERT ELEV. = 1018.52 (TO CB-4)

GOVERNING SPECIFICATIONS
CITY OF ROCHESTER STANDARD
SPECIFICATIONS FOR STREET
AND UTILITY CONSTRUCTION

STMH-1
CONST. STRUCTURE DESIGN 48"
(MNDOT PLATE 4020J - 48")
F&I NEENAH R-1642 CASTING
RIM = 1024.50
SUMP = 1018.63
INLET ELEV. = 1018.65 (FROM CB-5)
OUTLET ELEV. = 1018.63 (TO CB-4)

CB-5
CONST. STRUCTURE DESIGN G
(MNDOT PLATE 4006L - DESIGN G)
F&I NEENAH R-4342 CASTING
RIM = 1022.50
SUMP = 1018.50
INLET ELEV. = 1019.01 (FROM CB-6)
INLET ELEV. = 1019.50 (FROM STCO-2)
OUTLET ELEV. = 1018.99 (TO MH-1)

STCO-2
CONST. UNDERDRAIN CLEANOUT
(SEE DETAILS SHEET)
F&I NEENAH R-1976 CASTING
RIM = 1023.20
INVERT ELEV. = 1019.76 (TO CB-5)

CB-6
CONST. STRUCTURE DESIGN G
(MNDOT PLATE 4006L - DESIGN G)
F&I NEENAH R-4342 CASTING
RIM = 1021.76
SUMP = 1017.76
OUTLET ELEV. = 1019.25 (TO CB-5)

ST-1
CONNECT TO EXIST. 18" RCP.
FIELD VERIFY SIZE, LOCATION, ELEVATION AND SLOPE
OF EXIST. 18" RCP STUB PRIOR TO ORDERING AND
INSTALLING ST-1, CB-1, AND UPSTREAM STORM SEWER.
ASSUMED INVERT ELEV. = 1016.02 (FIELD VERIFY)

CB-1
CONST. STRUCTURE TYPE 1
FIELD VERIFY SIZE, LOCATION, ELEVATION AND SLOPE
OF EXIST. 18" RCP STUB PRIOR TO ORDERING AND
INSTALLING CB-1 AND UPSTREAM STORM SEWER.
F&I NEENAH TYPE R-3067 CASTING
RIM = 1020.97
SUMP = 1016.07 (FIELD VERIFY)
INLET ELEV. = 1017.00 (FROM CB-2)
OUTLET ELEV. = 1016.07 (TO ST-1, FIELD VERIFY)

CB-2
CONST. STRUCTURE TYPE 1
F&I NEENAH TYPE R-3067 CASTING
RIM = 1021.81
SUMP = 1017.52
INLET ELEV. = 1017.62 (FROM CB-3)
OUTLET ELEV. = 1017.52 (TO CB-1)

CB-3
CONST. STRUCTURE DESIGN G
F&I NEENAH R-4342 CASTING
RIM = 1023.00
SUMP = 1018.66
INLET ELEV. = 1020.00 (FROM ST-3)
OUTLET ELEV. = 1018.66 (TO CB-2)

ST-3
END 6" PVC PIPE
CONNECTION TO ROOF DRAIN
(SEE DETAIL "STORM SEWER FOR
EXTERIOR ROOF DRAINS")
INVERT ELEV. = 1020.60

A-1
F&I 8" METAL APRON
INVERT ELEV. = 1022.60
F&I 9 LF 8" SCHEDULE 40 PVC
PIPE @ 1.00% TO ST-2 (PRIVATE)

ST-2
END PIPE 2" FROM BUILDING FOR
CONNECTION TO ROOF DRAIN SYSTEM
INVERT ELEV. = 1022.69

PROPERTY INFORMATION

SITE LOCATION: LOT 2, BLOCK 2, THINK PLAZA (EXISTING PLAT)
LOT 2, BLOCK 1, THINK PLAZA REPLAT (PROPOSED PLAT)
ROCHESTER, MN

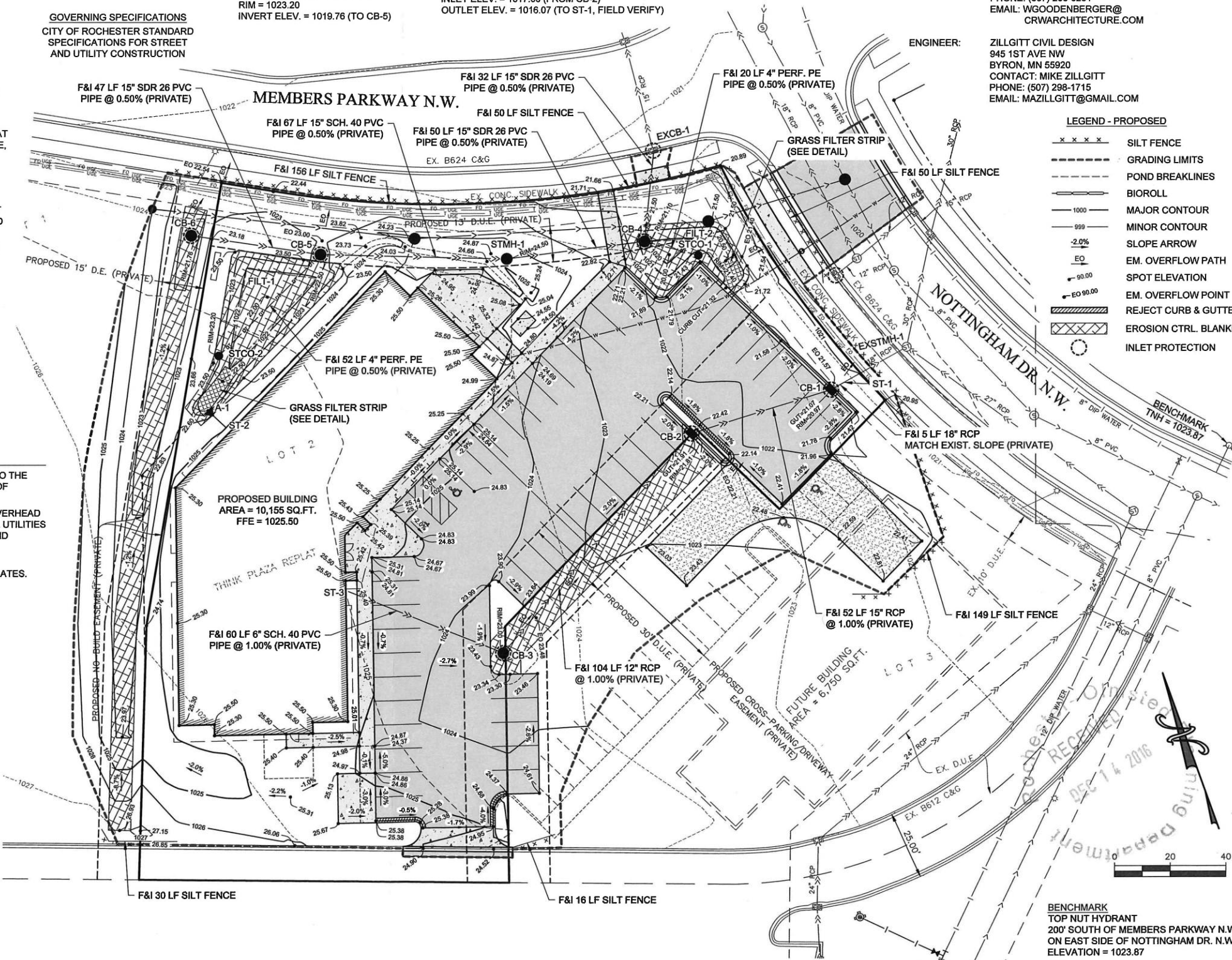
OWNER: PLAZA NORTHWEST ONE LLC
4057 28TH STREET NW, SUITE 200
ROCHESTER, MN 55901
CONTACT: JAMEY SHANDLEY
PHONE: (507) 281-1002
EMAIL: JAMEY@HAMILTONMNR.COM

ARCHITECT: CRW ARCHITECTURE + DESIGN GROUP
211 ELEVENTH AVENUE NW
ROCHESTER, MN 55901
CONTACT: WADE GOODENBERGER
PHONE: (507) 206-6201
EMAIL: WGOODENBERGER@CRWARCHITECTURE.COM

ENGINEER: ZILLGITT CIVIL DESIGN
945 1ST AVE NW
BYRON, MN 55920
CONTACT: MIKE ZILLGITT
PHONE: (507) 298-1715
EMAIL: MAZILLGITT@GMAIL.COM

LEGEND - PROPOSED

- SILT FENCE
- GRADING LIMITS
- POND BREAKLINES
- BIOROLL
- MAJOR CONTOUR
- MINOR CONTOUR
- SLOPE ARROW
- EM. OVERFLOW PATH
- SPOT ELEVATION
- EM. OVERFLOW POINT
- REJECT CURB & GUTTER
- EROSION CTRL. BLANKET
- INLET PROTECTION



BY	REVISION DESCRIPTION	DATE

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
Mike Zillgitt
MICHAEL A. ZILLGITT
DATE: 12/13/16
LIC. NO. 50431

DRAWN: MAZ
CHECKED: MAZ
SCALE: AS SHOWN
DATE: 12/12/16
PROJECT NO. 176018

HAWKINS ASH OFFICE - THINK PLAZA DEVELOPMENT
PLAZA NORTHWEST ONE LLC
ROCHESTER, MN
GRADING & DRAINAGE PLAN

SHEET NO.
C2.0